



**DEVELOPMENT PERMIT NO. DP001139**

**WINDLEY DEVELOPMENTS LTD**  
Name of Owner(s) of Land (Permittee)

**151 ROYAL PACIFIC WAY**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 1, DISTRICT LOT 49, WELLINGTON DISTRICT, PLAN EPP73175**

**PID No. 030-332-397**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Building Elevations**  
**Schedule D Landscape Plan and Details**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### PERMIT TERMS AND CONDITIONS

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 9m to 9.54m.

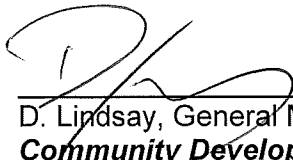
### CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site Plan prepared by Daryoush Firouzli Architecture Inc., received 2020-AUG-21, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations prepared by Daryoush Firouzli Architecture Inc., received 2020-JUN-01, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Victoria Drakeford Landscape Architecture, received 2020-JUN-01, as shown on Schedule D.
4. The subject property is developed in accordance with the Geotechnical Assessment prepared by Lewkowich Engineering Associates Ltd., dated 2020-JUL-20, or any amendments thereto accepted by the City of Nanaimo's Building Inspector.
5. A statutory right-of-way for emergency vehicle access and turnaround, to replace an existing statutory right-of-way, is to be registered on the subject property prior to building occupancy to the satisfaction of the City of Nanaimo's Director of Development Approvals.

REVIEWED AND APPROVED ON

2020-SEP-30

Date

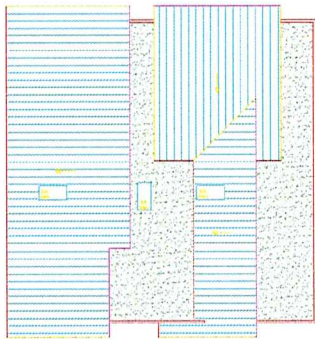
  
\_\_\_\_\_  
D. Lindsay, General Manager of Development Services  
**Community Development**  
Pursuant to Section 154 (1)(b) of the Community Charter

CH/in  
Prospero Schedule: DP001139

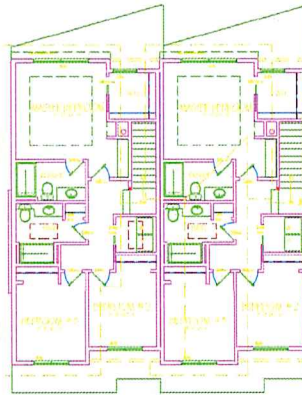




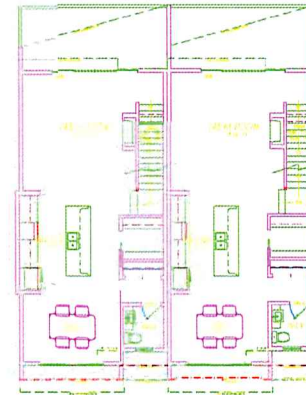
**BUILDING ELEVATIONS**



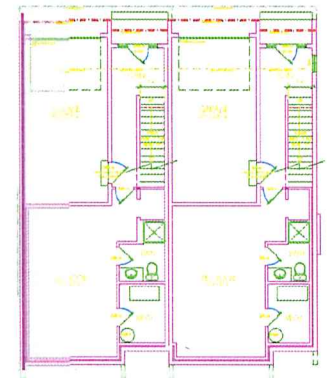
TYPICAL ROOF PLAN



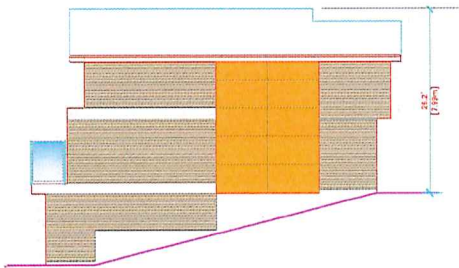
TYPICAL THIRD FLOOR PLAN



TYPICAL SECOND FLOOR PLAN



TYPICAL MAIN FLOOR PLAN



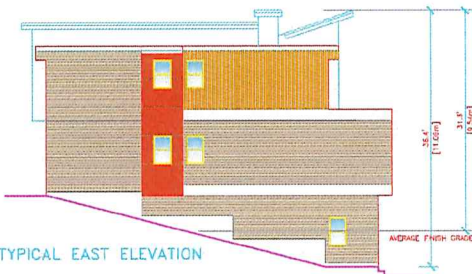
TYPICAL WEST ELEVATION



BLOCKS 1, 3 & 5 NORTH ELEVATION



BLOCKS 2 & 4 NORTH ELEVATION



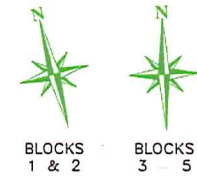
TYPICAL EAST ELEVATION



BLOCKS 1, 3 & 5 SOUTH ELEVATION



BLOCKS 2 & 4 SOUTH ELEVATION



BLOCKS 1 & 2

BLOCKS 3 - 5

**EXTERIOR MATERIALS & COLORS**

| CODE | COLOR          | MATERIAL                        |
|------|----------------|---------------------------------|
| 1    | [Color swatch] | METAL CLADDING COLOR #1         |
| 2    | [Color swatch] | METAL CLADDING COLOR #2         |
| 3    | [Color swatch] | HARDIE PANELS COLOR #1          |
| 4    | [Color swatch] | HARDIE PANELS COLOR #2          |
| 5    | [Color swatch] | 6" HARDIE PLANK SIDING COLOR #3 |
| 6    | [Color swatch] | 6" TRUE GRAIN CEDARTONE         |
| 7    | [Color swatch] | BLACK ALUMINUM GLASS RAILING    |

RECEIVED  
DP1139  
2020-JUN-01

| NO. | REV. | DATE | DESCRIPTION |
|-----|------|------|-------------|
|     |      |      |             |
|     |      |      |             |



**D-ARCHITECTURE**  
6377 ICARUS DRIVE, NANAIMO, BC V9Y 1N4  
T: 250-932-1991, E: P@DARCHIT.COM  
DARYDUSH PRODUZU ARCHITECTURE INC.

**PRELIMINARY**

|       |      |
|-------|------|
| SCALE | DATE |
|       |      |

|              |         |
|--------------|---------|
| SCALE        | DATE    |
| 1/8" = 1'-0" | APR 6/2 |

151 ROYAL PACIFIC WAY  
NANAIMO, BC

WINDLEY CONTRACTING LTD.  
PROJECT NO. 2862

FLOOR PLANS  
ELEVATIONS

SHEET NO.  
**A2.1**

LANDSCAPE PLAN and DETAILS

Plant Palette and Legend

| Key                  | City            | Botanical Name                    | Common Name             | Pot Size | Spacing    |
|----------------------|-----------------|-----------------------------------|-------------------------|----------|------------|
| 10                   | 25              | <b>Evergreen Trees</b>            |                         |          |            |
|                      |                 | <i>Prunus sibirica</i>            | Scott's Pine            | 2m       |            |
|                      |                 | <i>Prunus emarginata</i>          | Scrub Pine              | 1.5m     |            |
| 12                   | 22              | <b>Deciduous Trees</b>            |                         |          |            |
|                      |                 | <i>Acer palmatum</i>              | Japanese Maple          | #10      |            |
| 3                    | 22              | <b>Deciduous Trees</b>            |                         |          |            |
|                      |                 | <i>Parrotia persica</i>           | Persian Ironwood        | #10      |            |
| 136                  | 3               | <b>Evergreen/Deciduous Shrubs</b> |                         |          |            |
|                      |                 | <i>Cornus edulis</i>              | White Flowering Dogwood | 5 cm cal |            |
| 136                  | 3               | <b>Evergreen/Deciduous Shrubs</b> |                         |          |            |
|                      |                 | <i>Abelia grandiflora</i>         | Abelia                  | #1       | 1.2m o.c.  |
|                      |                 | <i>Buxus sempervirens</i>         | Buxwood                 | #2       | 60 cm o.c. |
|                      |                 | <i>Camellia victoria</i>          | California Lilac        | #1       | 1.2m o.c.  |
|                      |                 | <i>Gaultheria shallon</i>         | Salt                    | #1       | 60 cm o.c. |
|                      |                 | <i>Mahonia aquifolium</i>         | Tall Oregon Grape       | #1       | 60 cm o.c. |
|                      |                 | <i>Mahonia nervosa</i>            | Dwarf Oregon Grape      | #1       | 60 cm o.c. |
|                      |                 | <i>Vaccinium ovatum</i>           | Pendulous Huckleberry   | #1       | 60 cm o.c. |
|                      |                 | <i>Cornus sericea</i>             | Red Osier Dogwood       | #1       | 60 cm o.c. |
|                      |                 | <i>Ribes sanguineum</i>           | Red Flowering Currant   | #1       | 60 cm o.c. |
| <i>Urtica dioica</i> | Stinging Nettle | #1                                | 1.2m o.c.               |          |            |

|                                    |                                |  |                    |            |            |
|------------------------------------|--------------------------------|--|--------------------|------------|------------|
| * 60                               | <b>Cascading Plants</b>        |  |                    |            |            |
|                                    | <i>Archibuteuthis vivipara</i> | Wineberry                              | 10 cm              | 45 cm o.c. |            |
|                                    | <i>Chimaphila axillaris</i>    | Downy Chimaphila                       | #1                 |            |            |
|                                    | <i>Chimaphila angustata</i>    | Oriental Chimaphila                    | #1                 |            |            |
|                                    | <i>Fragaria chiloensis</i>     | Common Strawberry                      | 10 cm              | 45 cm      |            |
|                                    | <i>Fragaria vesca</i>          | Wild Strawberry                        | 10 cm              | 45 cm      |            |
|                                    | <i>Lonicera linearis</i>       | Evergreen Honeysuckle                  | #1                 |            |            |
|                                    | 1200                           | <b>Groundcovers/perennials/grasses</b> |                    |            |            |
|                                    |                                | <i>Blechnum spicant</i>                | Deer Fern          | #1         | 60 cm o.c. |
|                                    |                                | <i>Dryopteris expansa</i>              | Spry Wood Fern     | #1         | 60 cm o.c. |
| <i>Polypodium virginicum</i>       |                                | Lizard Fern                            | #1                 | 60 cm o.c. |            |
| <i>Polystichum munium</i>          |                                | Sweet Fern                             | #1                 | 60 cm o.c. |            |
| <i>Carex obovata</i>               |                                | Evergold Sedge                         | #1                 | 60 cm o.c. |            |
| <i>Hakonochloa macra 'Aureola'</i> |                                | Japanese Wood Grass                    | #1                 | 60 cm o.c. |            |
| <i>Penstemon alpestris</i>         |                                | Fountain Grass                         | #1                 | 60 cm o.c. |            |
| * 25                               |                                | <b>Climbing Plants</b>                 |                    |            |            |
|                                    |                                | <i>Hydrangea petiolaris</i>            | Climbing Hydrangea | #1         |            |
| <i>Parthenocissus quinquefolia</i> | Virginia Creeper               | #1                                     |                    |            |            |

|                                |             |
|--------------------------------|-------------|
| Concrete sidewalk and driveway | bioswale    |
| Concrete walkway/paved pattern | raingardens |
| Concrete patios/paved pattern  | grass grid  |
| 2x2 concrete stepping stones   |             |

Design rationale

The project fits on the north slopes of Nanaimo. The site is valued for expansive views of Georgia Strait and the Coast Mountains.

The landscape design will contribute to the creation of a new townhouse development which takes advantage of the ocean views, fits into the site and becomes an attractive place to live. To achieve these goals the following principles have been followed:

- Plant selection: A sense of place can be created by planting a wide range of species that are both native to our region or have qualities similar to native plants. These plants will increase biodiversity in the immediate area, contribute to the creation of wildlife habitat, conservation of water, and provide climate resilience.
- Alternative rainwater management: Rain gardens, bioswales and permeable surfaces will be used where appropriate.

Design features/elements:

The planting scheme will consist of the typical vertical layers of plants that make up a woodland ecosystem, coniferous and deciduous trees, shrubs and groundcovers. Plant selection has taken into account the tight spaces between and around the buildings, the aspect of the site and views into and out of the site.

Depending on the location within the site the woodland plantings will take different forms:

- A common entrance area will use clumps of trees and shrubs with a path-viewpoint bench where the slope allows.
  - Individual front entrances will have small raingardens, both functional and decorative, with a small-scale canopy tree, a multi-stemmed Japanese maple and edging in cobble, that tie into the reservoir located along the length of the driveway.
  - The area that lies south of the retaining walls will have clumps of trees and shrubs interspersed with meadow grass to allow filtered views of the development from above, while allowing light into the units.
  - In between townhouse blocks, the rock lined bioswale will capture and slow the rainwater from the roofs.
  - The south facing patios are enclosed private spaces with hedges providing privacy from neighbours.
- The retaining walls that form part of the private space, giving a courtyard feel to the patios, will be planted densely with plants that climb and cascade.

Pedestrian paths:

A concrete sidewalk leads pedestrians from the cul-de-sac to the units and beyond to the trail system. A concrete wall, patterned with score lines, leads people from the sidewalk to each front door. The front porch turnaround will be permeable paving. The private patios on the south will be concrete, patterned with score lines.



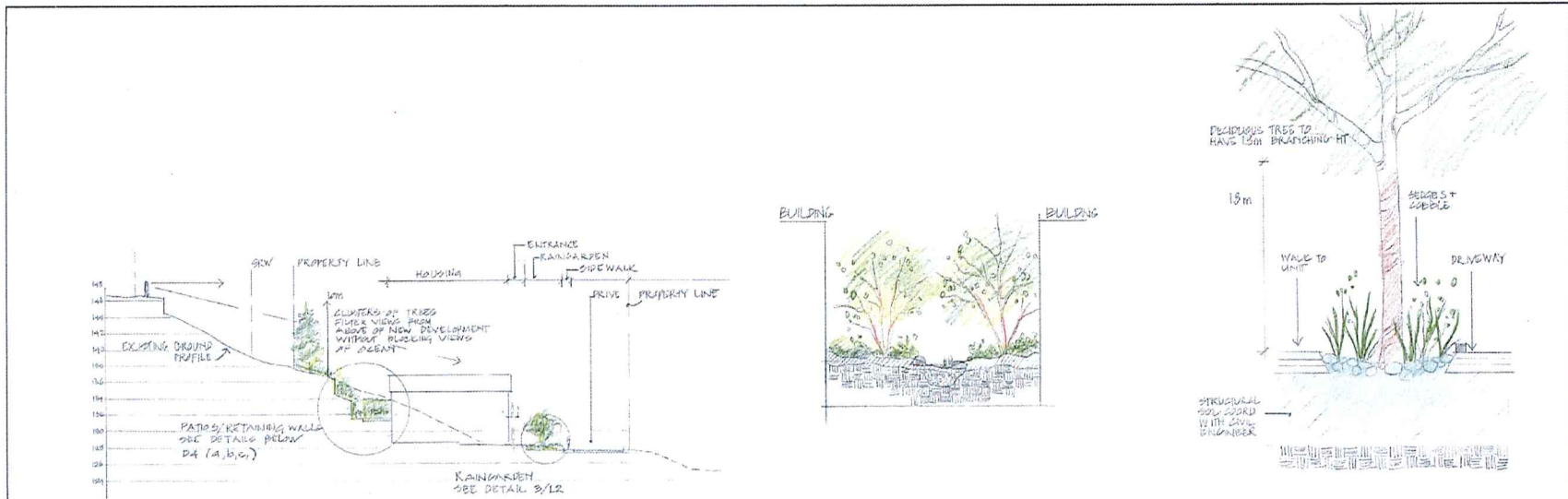
| DATE       | REV | DESCRIPTION              |
|------------|-----|--------------------------|
| 2020-05-20 | 1   | BUILDING REVISION        |
| 2020-05-20 | 2   | CITY OF NANAIMO COMMENTS |
| 2020-05-20 | 3   | DESIGNED FOR DP          |
| 2020-05-20 | 4   | REVISIONS                |
| 2020-05-20 | 5   | REVISIONS                |
| 2020-05-20 | 6   | REVISIONS                |
| 2020-05-20 | 7   | REVISIONS                |
| 2020-05-20 | 8   | REVISIONS                |
| 2020-05-20 | 9   | REVISIONS                |
| 2020-05-20 | 10  | REVISIONS                |

CONSULTANT: VICTORIA DRAKE-FORD LANDSCAPE ARCHITECT  
236 Pine St, Nanaimo, B.C. V9R 3J6  
250-754-4239  
victoria@landart.com

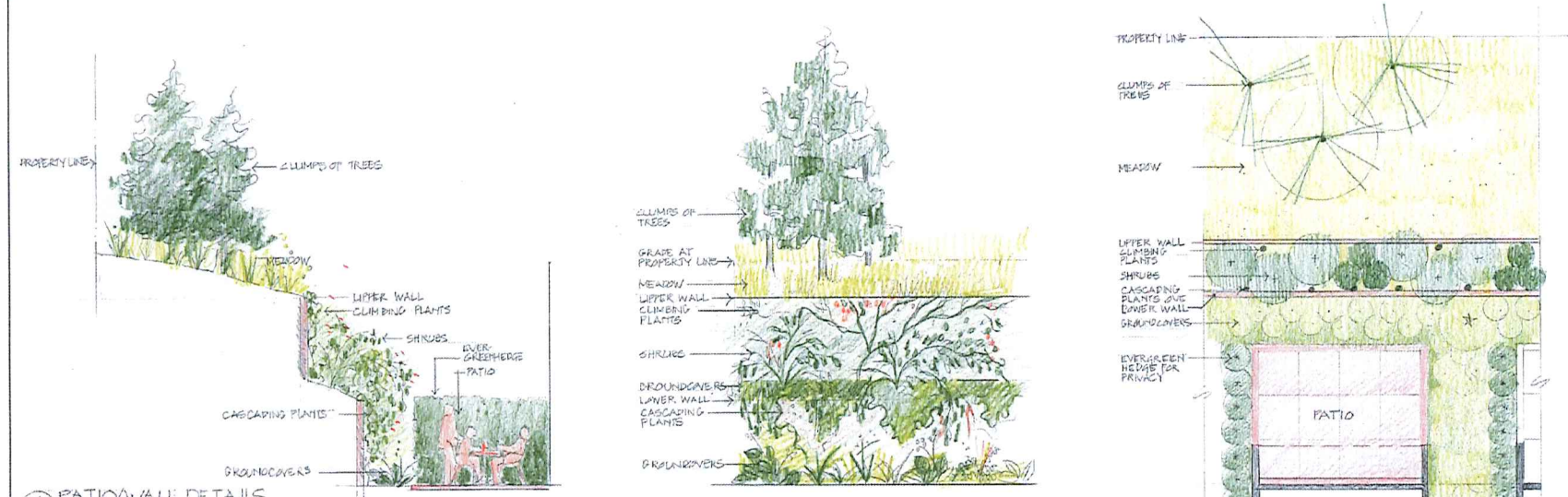
PROJECT: 151 ROYAL PACIFIC WAY NANAIMO BC  
VAN DYLE CONTRACTING INC.

SHEET TITLE: CONCEPTUAL LANDSCAPE PLAN

SCALE: 1:2000 M DATE: 24.5.19  
DRAWN: VLB CHECKED: KFW 19  
PROJECT NUMBER: RFW 19  
DRAWING NUMBER: L1



① SECTION C-C 1:250m      ② BIOSWALE 1:50m      ③ RAINGARDEN 1:20m



a. TYPICAL SECTION 1:50m      b. TYPICAL ELEVATION 1:50m      c. TYPICAL LAYOUT 1:50m

**RECEIVED**  
**DP 1139**  
 2020-JUN-01  
 COURTESY: PLANNING

| NO. | REV. | DESCRIPTION |
|-----|------|-------------|
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CONSULTANT  
**LANDSCAPE ARCHITECT**  
 256 Pine St. Nanaimo, BC V9N 2J8  
 250-754-4335  
 victor@lshd.net

PROJECT  
**151 ROYAL PACIFIC WAY**  
 NANAIMO BC  
 WINDLEY CONTRACTING

SHEET TITLE  
**CONCEPTUAL LANDSCAPE PLAN - DETAILS**

SCALE: 1:50 (SECTION) DATE: 24.2.20  
 DRAWN: MJD CHECKED: [Signature]  
 PROJECT NUMBER: KPW 19  
 DRAWING NUMBER: 12/22